



WELCOME TO

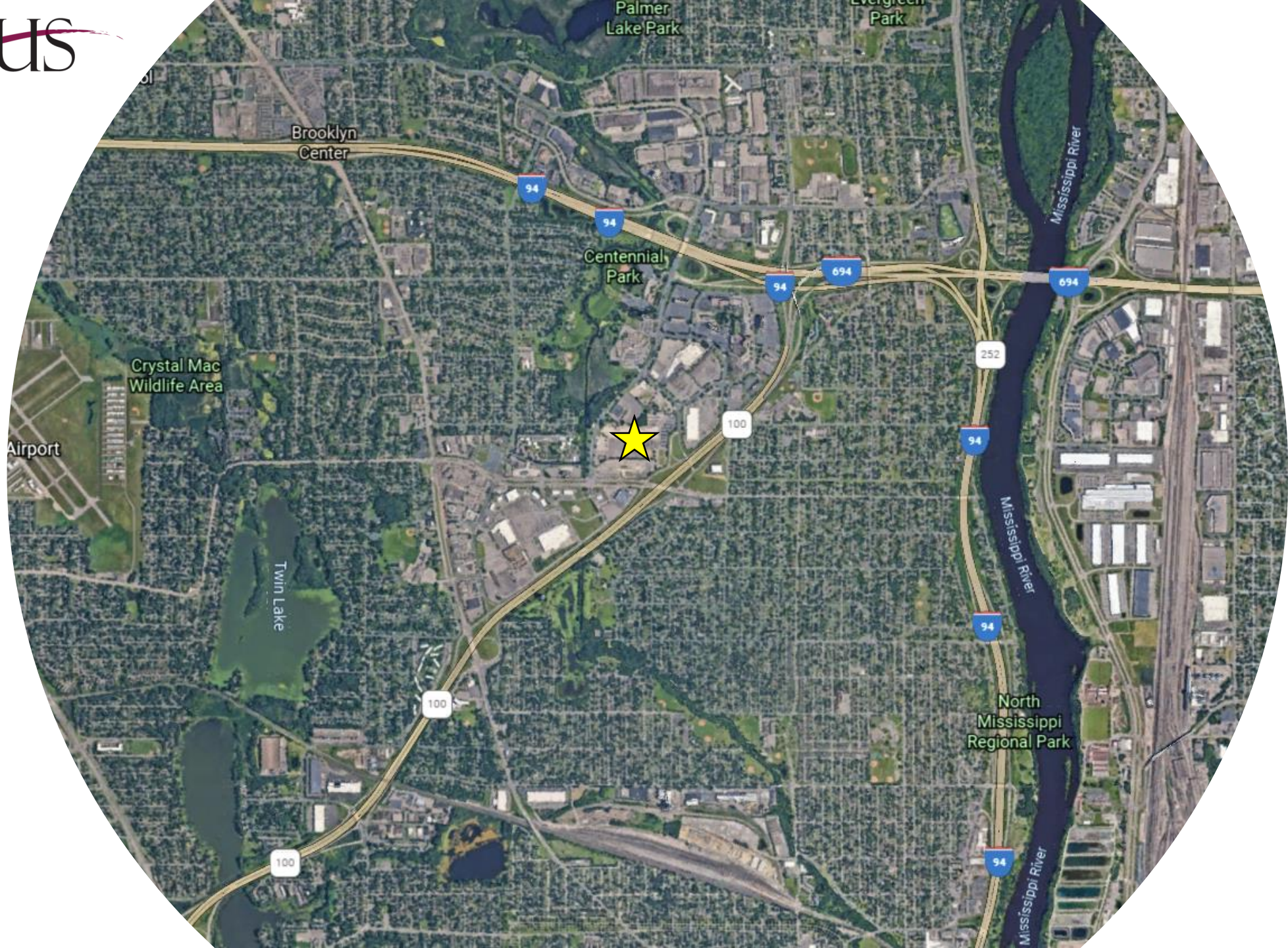


**WHERE YOUR FAITH
COMES ALIVE!**



DEVELOPMENT PROGRAM INTRODUCTION

SEPTEMBER 22ND, 2021





OUR TEAM



Bob Lux
President

Bob founded Alatus LLC in 2005 and serves as its [Principal](#). Bob has been in the real estate development and investment business for over 30 years. He has been involved in numerous [housing](#), office, and industrial projects. As co-founder and Principal of APEX Asset Management from 1993 to 2007, he was active in the business of property acquisition, disposition asset management, and the organization and management of investment programs. In the 1980s, he was Local Managing Partner of Trammell Crow Residential Minnesota where he was responsible for all of the development, construction, and management of Trammell Crow's Minnesota residential portfolio. Identified as one of Twin Cities Business Magazine's Top 100 People to Know in 2017, he serves as an executive committee member (and former Chair) of the Minneapolis Convention Bureau (MEET Minneapolis), Co-Chair of the Destination Transformation 2030 master plan, and as a board member of the Minneapolis Downtown Council. He has served previously as a Director of Minnesota Multi-Housing Association, NAIOP, and is an active member of the Minnesota Chapter and Urban Land Institute.



Chris Osmundson
Director of Development

Chris is responsible for leading the Alatus commercial and multi-family real estate portfolio of projects through all facets of the development cycle. This includes project sourcing, initial financial modeling and feasibility analysis, entitlement and approvals processes, design and architectural review, and construction overview and progress tracking, as well as debt and equity placement and execution. Prior to joining Alatus, Chris was a Development Associate with Dominion Development and Acquisition. There, Chris closed numerous projects and honed his expertise in affordable housing programs including Section 42 LHTC and Section 8.



Alex Polinsky III
COO & Director of Construction

After 17 years with Edward R. James Homes, Polinsky joined Engelsma Construction Inc. as a Business Development and Project Manager. In 2002, Alex helped to establish and grow E.R. James Homes Minnesota, LLC. As Managing Director, he was responsible for project management coordination and execution of over 950 high-quality residential units and \$380 million dollars of construction activity. Polinsky grew the Minnesota division by recruiting and managing a team of twelve real estate professionals in the areas of residential construction, interior design, and project management.



Dave Huber
Director of Housing Development

Dave oversees residential projects from concept to completion. He is responsible for development and management of all construction technology and software systems, which seamlessly connect homeowners, coordinators, General Contractors, and vendors to streamline construction management and interior selection processes. Other key responsibilities include analyzing feasibility, conceptual pricing, detailed take-offs and estimating for all features of each building - this includes managing key metrics of the structures and procurement of materials to ensure expectations are met for quality of delivered products.

SINGLE-FAMILY DEVELOPMENT

MyHomeSource is an Alatus company that is devoted to developing high-quality single-family homes in the Twin Cities Metropolitan area and focuses on new home construction and home renovation.



MULTI-FAMILY DEVELOPMENT

Alatus has participated in the development of some of the most influential and transformative multi-family properties in downtown Minneapolis including The Carlyle Condominiums, Grant Park Condominiums, and Latitude 45 Apartments.



COMMERCIAL DEVELOPMENT

"Vision" best describes our primary asset in our development projects. Our mission is to provide innovative solutions and high-quality projects for the clients and communities we serve.



SHINGLE CREEK – ALATUS LLC RFP SUBMISSION – MARCH 2018



Alatus LLC – Original RFP Proposal - >



February 15, 2018



Brooklyn Center Opportunity Site Master Plan
Brooklyn Center, MN

Concept 3

SHINGLE CREEK – ORIGINAL MASTER PLAN FOR OPPORTUNITY SITE

MASTER PLAN

Walkable, mixed-use neighborhoods will be built out through multiple phases of development including:

- Mixed-density housing: 1,500 to 2,500+/- total units (mix of Market Rate, Workforce, and Affordable)
- Community-Driven, Affordable Incubator Markets for Local Entrepreneurs
- Outdoor Recreation, Pocket Parks, Playgrounds, Park/Trail Network
- Public Infrastructure, Civic Spaces
- Theater / Entertainment / Hotel
- Retail / Restaurants / Grocery / Commercial
- Sports & Recreation / Fitness
- Office / Light Industrial



MASTER PLAN GUIDING PRINCIPLES

-  Diversity and inclusivity
-  Affordability
-  Health and Wellness
-  Fiscal Responsibility
-  Flexibility
-  Community Pride
-  Environmental Sustainability
-  Local Benefit
-  Counteracting Displacement

SHINGLE CREEK – PILOT SITE – WHERE ARE WE TODAY

MISSION STATEMENT:

To create a sustainable and equitable housing spectrum with ancillary growth and economic prosperity tools that are supportive of the diverse, evolving, and entrepreneurial community that is the City of Brooklyn Center.



Overall Illustrative Master Plan



Publicly Owned Property (in red)



Block Plan



**PROJECT FOR
PRIDE IN
LIVING**

Our Mission

PPL builds the hope, assets, and self-reliance of individuals and families who have lower incomes by providing transformative affordable housing and career readiness services.



RESURRECTING FAITH WORLD MINISTRIES



RESURRECTING FAITH WORLD MINISTRIES

HOME ABOUT

KEEP YOUR FAITH STRONG

VISIT US

11 AM SUNDAYS WORSHIP

7 PM WEDNESDAYS BIBLE STUDY



Resurrecting Faith World Ministries Background

Goal Of RFWM Campus Style Development

- To Gather A Diverse Community Together In A Safe and Pleasurable Environment.
- To Unify A Diversified Community With Services and Entertainment.
- To Meet The Affordable Housing Needs of The Brooklyn Center Community.
- To Provide An Affordable and Excellent 24-Hour Child Care and Learning Center for the Brooklyn Center Community.
- To Provide Affordable Services in the Campus Style Community Development:

Benefits to Brooklyn Center Community:

- Create Employment Opportunities
- Create Housing Stability (Affordable and Market Rate)
- Create Tax Generation
- Create Diverse Community Unification
- Wealth Generated For All BC Businesses
- Create Minority Ownership



FIRM'S PROFILE

OUR FOUNDATION

Design by Melo approaches design from the perspective of translating technical and inaccessible languages into concepts that clients and communities can understand and then therefore engage in a process of co-creating solutions that promote equitable communities where all people have access to livable wages, home ownership, and economic mobility.

OUR VISION

Design by Melo is composed of professionals with engaging personalities, multicultural and global backgrounds. Our team is approachable and nurtures an interactive and authentic relationship with clients and communities to create aesthetically pleasing and economically feasible design solutions that remain relevant as demographics and economics shift.

OUR HISTORY

Damaris Hollingsworth, Design by Melo's Principal Architect, started the firm in November of 2018. Founded in the belief that the built environment needs to do more than address the functional needs of proposed spaces, our clients benefit from a holistic approach to all that we do. We understand that places and spaces must speak to the values of global engagement, cultural competency, inclusion, sustainability and human performance.

OUR DIVERSE TEAM OF PROFESSIONALS

Design by Melo currently has 6 full-time staff and several part-time contractors that are added to projects on a *as-needed* basis. Our internal and external team combined offer over five decades of combined experience. We are a highly talented, multi-faceted and efficient team and we thrive in collaborating on multiple projects. No matter the complexity, schedule or budget constraint, we combine



Damaris Hollingsworth
NCARB, AIA, NOMA, LEED AP
100% owner | Principal Architect



Natalie Wiersma
AIA, NOMA
Staff | Senior Project Architect



Obettu Subah Cooper
Assoc AIA, NOMA
Staff | Architectural Associate



Max Carr
AIA LEED AP
Staff | Lead Project Architect



Julian Nee Ako Akogyeram
Assoc AIA, NOMA
Staff | Project Designer



James Neal
Contractor | Architectural Visualizer

PROJECT TEAM



ANTHONY TAYLOR

EDUCATION

Executive MBA, Entrepreneurship, University of St Thomas
Executive MBA, Marketing, University of Minnesota
Bachelor in Chemical Engineering, University of Minnesota

RELEVANT EXPERIENCE

Anthony Taylor has built a reputation as a “whole-systems” thinker and works to reveal connections (between nature and our nature) that strengthen the awareness of cause and effect on a personal level – and to offer choices for living life in balance.

Anthony was a founding member of the League of American Bicyclists Equity Advisory Council, Co-founder of the Major Taylor Bicycling Club of Minnesota, Co-founder and VP of the National Brotherhood of Cyclists and a founding member of the Untokening-The Untokening is a multiracial collective of planners, transportation professionals and advocates that centers the lived experiences of marginalized communities to address mobility justice and equity. He is actively engaged in developing new models for designing public space to offer narratives that acknowledge and engage communities of Color while promoting active living. As a lead member of the Cultural Wellness Center he is redefining equitable development to include outcomes for quality of life measures like median income, home ownership, positive health outcomes, educational attainment and civic agency. He has been a consultant on public space developments with the Minneapolis Park Board, The DNR, HGA Architects, The YMCA of the North, AARP, The City of Minneapolis and regional private developers.



FRANK EDGERTON MARTIN
MSLA

EDUCATION

Master in Landscape Architecture, University of Wisconsin
Bachelor in Philosophy, Vassar College

RELEVANT EXPERIENCE

Frank is an architectural writer, planner, and cultural landscape historian. He focuses on cultural interpretations of “sense of place”, the connections between natural and human history in development, and inclusive architectural research and engagement. He has led numerous planning studies for National Historic Areas, historic college campuses, and urban districts.

Frank has written for numerous national publications on landscape architecture, social equity, and most recently, the implications of the murder of George Floyd and the erasure of Indigenous culture in the Midwest.

Frank will contribute to our cultural research on the social, economic, and ecological history of the Brooklyn Center region and our public conversations in stakeholder engagement.

ENRICHING LIVES AND STRENGTHENING COMMUNITIES

For over 43 years, across the country, spanning housing, government, education, corporate, and commercial project types, our core belief has remained consistent: as a holistic, multidisciplinary design firm, our responsibility is to enhance the economic, aesthetic, social, and environmental context of the communities we shape and define.



OUR SERVICES

BKV Group is a holistic design firm providing a full complement of architecture, engineering, interior design, landscape architecture, and construction administration services. Our core belief is that regardless of project type, design has a profound impact on the community, and our responsibility as a multidisciplinary firm is to enhance the economic, aesthetic, social, and environmental context of the communities we shape and define. Since 1978, BKV Group has grown from a sole proprietorship into a diverse partnership with 175+ employees sharing knowledge across practice sites in Chicago, Dallas, Minneapolis, and Washington, DC, creating relevant and meaningful design solutions that allow our clients' dreams to become a reality.



MIKE KRYCH, AIA
President



ROBERT EWERT, AIA
Lead Project Architect



TRACE JACQUES, AIA, CID, LEED AP ND
Senior Architectural Designer



KELLY NAYLOR, CID, LEED AP
Lead Interior Designer



BRADY HALVERSON, ASLA, RLA
Lead Landscape Architect



LIONEL DAYTON, PE
Lead Structural Engineer



ALEX SAWKA, PE
Lead Mechanical Engineer



CHAD KURDI, PE
Lead Electrical Engineer

COMMUNITY INPUT

Four guiding principles emerged over several community workshops that reinforce a sense of community pride in Brooklyn Center:

Benefits

- Increased tax base
- Benefit to community schools
- New parks and recreation amenities
- Increased shopping, dining, and entertainment options
- More housing options
- Spaces for local businesses
- Water quality improvements to Shingle Creek

Principles

1. Embrace the growing diversity of the community
2. Produce places that bring the community together
3. Create a vibrant and distinctive destination for the community and region
4. Consider sustainability in the design of development

regenerative
community-led
reparative
culture food equitable
art sustainable
creative

MASTER PLAN CONNECTIONS

1. Prioritizing pedestrians to create a walkable community
2. Ensuring vehicular access to Downtown from throughout the City and region
3. Creating a safe and connected bicycle network
4. A green and active District stormwater system that provides health, recreation, and environmental benefits for all
5. Design a network of streets ensuring safety, accessibility and comfort – without dependency on a vehicle



SHINGLE CREEK – PILOT SITE – BROOKLYN CENTER, MN

BROOKLYN CENTER, MN - PILOT SITE



ALATUS

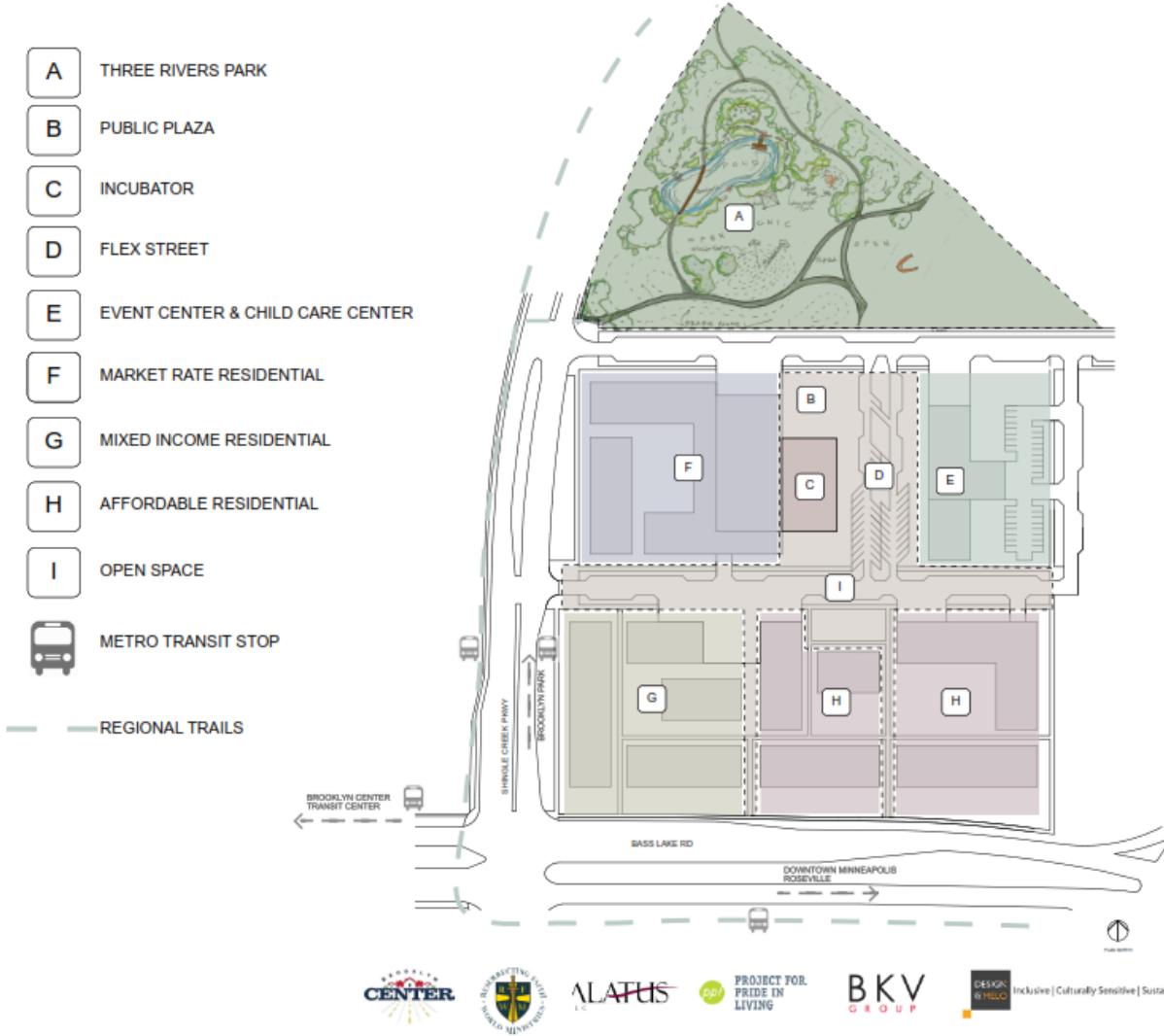
PROJECT FOR PRIDE IN LIVING

BKV GROUP

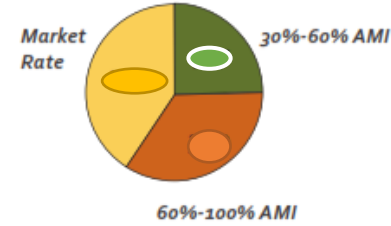
DESIGN BY POLCO Inclusive | Culturally Sensitive | Sustainable | Relevant

SHINGLE CREEK – PILOT SITE BUSINESS PROGRAM & MASSING

BROOKLYN CENTER, MN - PILOT SITE



+/- 750 Residential Units



- +/-25% of the units at households earning 30%-60% AMI
- +/-39% of the units at households market rate
- +/-36% of the units for households earning at 60% - 100% AMI

ADDITIONAL COMMUNITY BENEFITS



- ~20,000 sq. ft. community-directed accelerator/incubator space



- 1 - 3 acres of programmed outdoor public spaces, facilities, etc. with local-use priority and regional oversight from City of Brooklyn Center.



- Creation of Community Benefits Plan paired with Opportunity Zone mandates under Biden Administration



- Creation of Accountability Board and funding of \$750,000 to support investment into community benefits



- Sustainability enhancements

SHINGLE CREEK – PILOT SITE – BROOKLYN CENTER, MN

Tentative Pilot Site Engagement & Approval Timeline

September

October

November

December

January

February

March

Concept Plan Review

Alatus LLC, Project for Pride in Living, Resurrecting Faith World Ministries as well as BKV Group and Melo Architects will submit a Site Plan Concept Review to the City of Brooklyn Center Planning Commission and City Council. This process will further inform the Site Plan for future Land Uses Approval applications.

Environmental Assessment

An Environmental Assessment Worksheet (EAW) evaluating the potential environmental impacts of the projects is prepared and released for public comment. The purpose of the EAW is to determine whether an Environmental Impact Statement is required and to identify if/how the project can be modified to lessen environmental impacts. The EAW does not approve or deny the project but seeks opportunities to mitigate environmental impacts that the project may have. This process is undertaken by the City of Brooklyn Center, Alatus LLC, Braun Intertec, and the State of Minnesota and the Environmental Quality Board.

Land Use Approvals

Alatus LLC, Project for Pride in Living, and Resurrecting Faith World Ministries, along with BKV Group and Melo Architects, will submit a comprehensive Site Plan document to the City of Brooklyn Center by mid-December. There will then be public hearings at both the Planning Commission and City Council to review the final Site Plan Application. This would also discuss possible subsidies for the development.

Community Engagement

The public and community stakeholders will have numerous opportunities throughout the process to provide input and review output over the next 6 months. This will include integration of the Citizen Advisory Taskforce Meetings for the Pilot Site and the larger Opportunity Site as a whole. This will ultimately culminate in a Planned Unit Development Approval at the City of Brooklyn Center City Council.