
Section 2: Zoning Districts

2.1 Official zoning map

The official Zoning Map together with all materials attached thereto is hereby adopted by reference and declared to be a part of this section. The official Zoning Map shall be on file with the city clerk.

2.2 Zoning Districts Established

2.2.1 Summary Table of Zoning Districts

Prior District Name		District Name
Residential Districts		
A	R1	Low Density Residential
B	R2	Medium Low Density Residential
C	R3	Medium Density Residential
D	R4	Medium High Density Residential
E	R5	High Density Residential
Mixed-Use Districts		
F	MX-N1	Neighborhood Mixed-Use
G	MX-N2	Neighborhood Mixed-Use
J	MX-C	Commercial Mixed-Use
K	TOD	Transit Oriented Development
Non-Residential Districts		
H	C	Commerce - Service/Office
M	MX-B	Business Mixed-Use
N	I	General Industrial
Special Purpose Districts		
O	O	Public Open Space

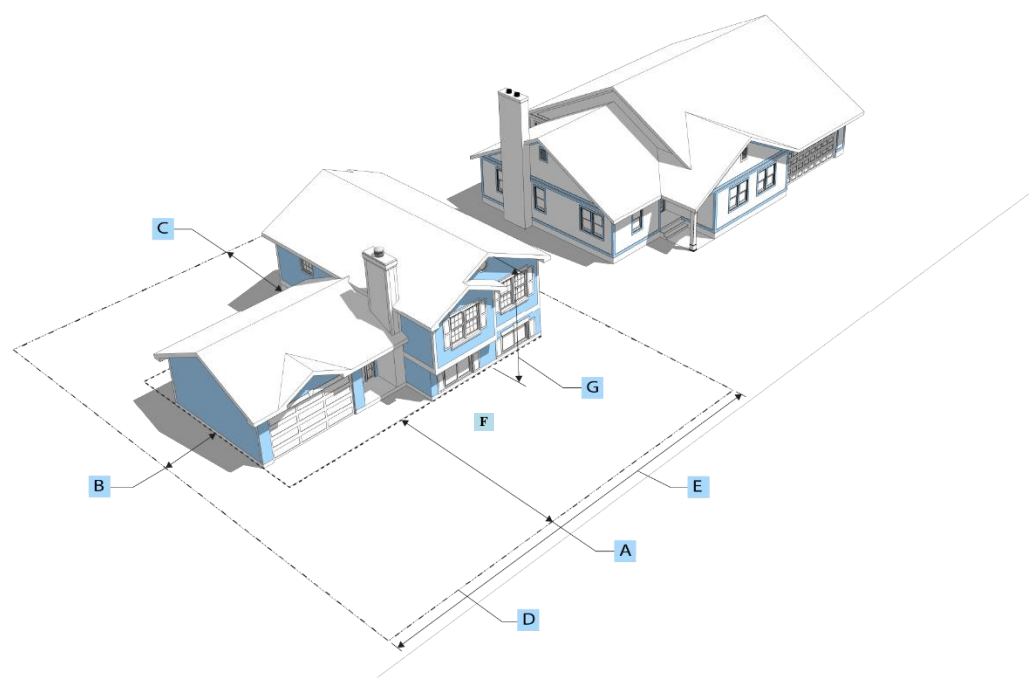
2.3 Residential Districts and Standards

2.3.1 R1 – Low Density Residential

(a) Purpose

The purpose of the R1 (Low Density Residential) zoning district is to conserve low-density, single-family neighborhoods. This district primarily supports one family dwellings. Some accessory uses and licensed programs or facilities are permitted. Conditional uses, such as places for religious assembly, public and private elementary and secondary schools, golf courses, cemeteries, publicly owned structures, and

conditional home occupations are allowed when approved by the City Council. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) R1 Dimensional Standards

Building Setbacks		
A	Front building setback (minimum)	35 feet (interior lot) or 35 feet along primary street and 15 along secondary street (corner lot)
B	Side building setback (minimum)	10 feet

C	Rear building setback (minimum)	25 feet
D	Lot area – (minimum)	9,500 sq. ft. (interior lot) or 10,500 sq. ft. (corner lot)
E	Lot width – one family (minimum)	75 feet (interior lot) or 90 feet (corner lot)
	Accessory Structure setback, Interior Side or Rear (Minimum)	5 feet
Other Standards		
F	Primary structure height (maximum)	25 feet
	Accessory Structure height (Maximum)	16 feet
	Density	3-5 units/acre

(a) General Regulations

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) In R1 districts, every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term " principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) All dwellings shall be on permanent foundations which comply with the State Building Code, except that accessory uses such as screened or enclosed porches, canopies, decks, balconies, stairs, etc., may be placed on a noncontinuous permanent foundation as approved by the Building Official.
- (4) In the case of permitted dwellings, the dwelling may be located less than ten (10) feet, but not less than five (5) feet, from not more than one (1) of the established interior side lot lines, provided:
 - (1) All other yard setback requirements are met;
 - (2) The remaining minimum ten (10) foot setback between the dwelling and the lot line, shall not be used for any accessory building;
 - (3) The exterior wall of the dwelling, facing the interior side yard of less than ten (10) feet, shall contain no openings including doors, or windows, or provision for mechanical equipment.

- (5) In instances where an existing single-family dwelling is deficient in its setback requirements, the building may be expanded along the existing building line, provided there is no greater encroachment into the required yard area. This provision in no way permits the expansion of a conforming building resulting in a setback less than established by this Unified Development Ordinance. In no case shall the expansion be closer than five (5) feet from an interior side yard property line
- (6) Where no more than three interior lots have frontage on a "cross street," and where the corner lots are developed so that one side yard of each corner lot faces the "cross street," the front yard setback of the interior lots may conform to the side yard setbacks of the corner primary structures.
- (7) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.

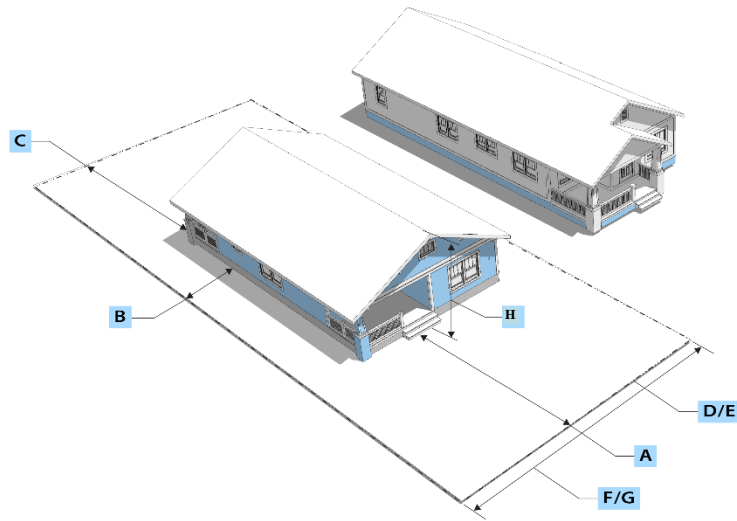
2.3.2 R2 – Medium Low Density Residential

(a) Purpose

The purpose of the R2 (Medium Low Density Residential) zoning district is to allow for smaller lot sizes or two-family dwellings in residential neighborhoods. This district primarily supports one- and two-family dwellings. Some accessory uses and licensed programs or facilities are permitted. Conditional uses, such as places for religious assembly, public and private elementary and secondary schools, golf courses, nursing homes, cemeteries, publicly-owned structures, and special home occupations are allowed when approved by the City Council. Allowed uses are shown in Section 4.2



(b) **R2 Dimensional Standards**



Building Setbacks		
A	Front building setback (minimum)	35 feet (interior lot) or 35 feet along primary street and 15 along secondary street (corner lot)
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	20 feet
D	Lot area – one family per unit (minimum)	7,600 sq. Ft. (interior lot) or 8,500 sq. Ft. (corner lot)
E	Lot area – two family (minimum)	5,000 sq. Ft./unit (interior and corner lot)
F	Lot width – one family (minimum)	60 feet (interior lot) or 75 feet (corner lot)
G	Lot width – two family (minimum)	75 feet (interior lot) or 90 feet (corner lot)
	Accessory Structure setback, Interior Side or Rear (Minimum)	5 feet
Other Standards		
H	Primary structure height (maximum)	25 feet
	Accessory Structure Height (Maximum)	16 feet
	Density	3-10 units/acre

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term " principal building" shall be given its common, ordinary meaning; in case of

doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.

- (3) All dwellings shall be on permanent foundations which comply with the State Building Code, except that accessory uses such as screened or enclosed porches, canopies, decks, balconies, stairs, etc., may be placed on a noncontinuous permanent foundation as approved by the Building Official.
- (4) In the case of permitted dwellings, the dwelling may be located less than ten (10) feet, but not less than five (5) feet, from not more than one (1) of the established interior side lot lines, provided:
 - (4) All other yard setback requirements are met;
 - (5) The remaining minimum ten (10) foot setback between the dwelling and the lot line, shall not be used for any accessory building;
 - (6) The exterior wall of the dwelling, facing the interior side yard of less than ten (10) feet, shall contain no openings including doors, or windows, or provision for mechanical equipment.
- (7) In instances where an existing single-family dwelling is deficient in its setback requirements, the building may be expanded along the existing building line, provided there is no greater encroachment into the required yard area. This provision in no way permits the expansion of a conforming building resulting in a setback less than established by this Unified Development Ordinance. In no case shall the expansion be closer than five (5) feet from an interior side yard property line.
- (8) Where no more than three interior lots have frontage on a "cross street," and where the corner lots are developed so that one side yard of each corner lot faces the "cross street," the front yard setback of the interior lots may conform to the side yard setbacks of the corner primary structures.
- (9) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.

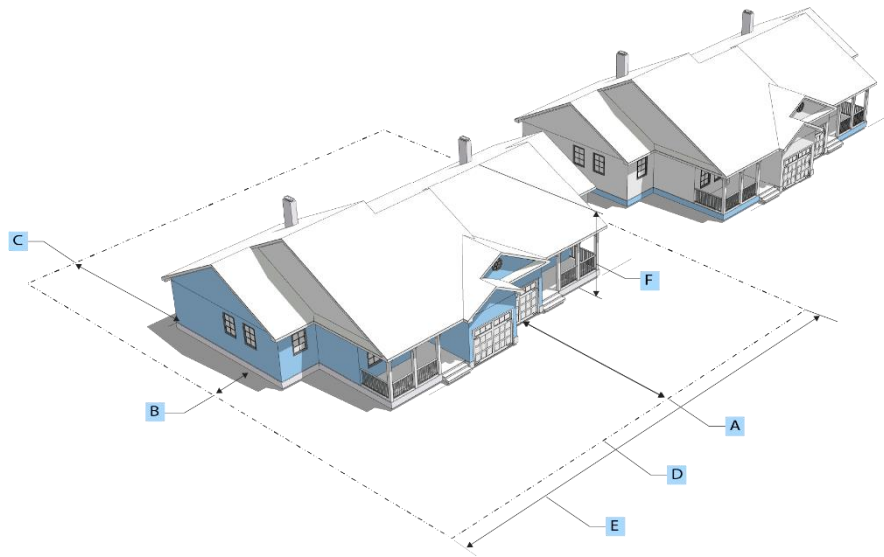
2.3.3 R3 – Medium Density Residential

(a) Purpose

The purpose of the R3 (Medium Density Residential) zoning district is to provide medium-density housing in townhouses, or condominium single family attached dwelling units. This district primarily supports attached single-family dwellings, but small lot, detached single-family dwellings are permitted as well. Other permitted uses include parks, directly related accessory uses, and some licensed programs or facilities. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) **R3 Dimensional Standards**



Building Setbacks		
A	Front building setback (minimum)	35 feet (interior lot) or 35 feet along primary street and 15 feet along secondary street (corner lot)
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	40 feet
D	Lot area – (minimum)	4,000 sq. ft. per unit
E	Lot width – (minimum)	25 feet
	Accessory Structure setback, Interior Side or Rear (minimum)	5 feet
Other Standards		
F	Primary structure height (maximum)	35 feet
	Accessory structure height (Maximum)	16 feet
	Density	5-10 units/acre

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term " principal building" shall be given its common, ordinary meaning; in case of

doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.

- (3) All dwellings shall be on permanent foundations which comply with the State Building Code, except that accessory uses such as screened or enclosed porches, canopies, decks, balconies, stairs, etc., may be placed on a noncontinuous permanent foundation as approved by the Building Official.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.

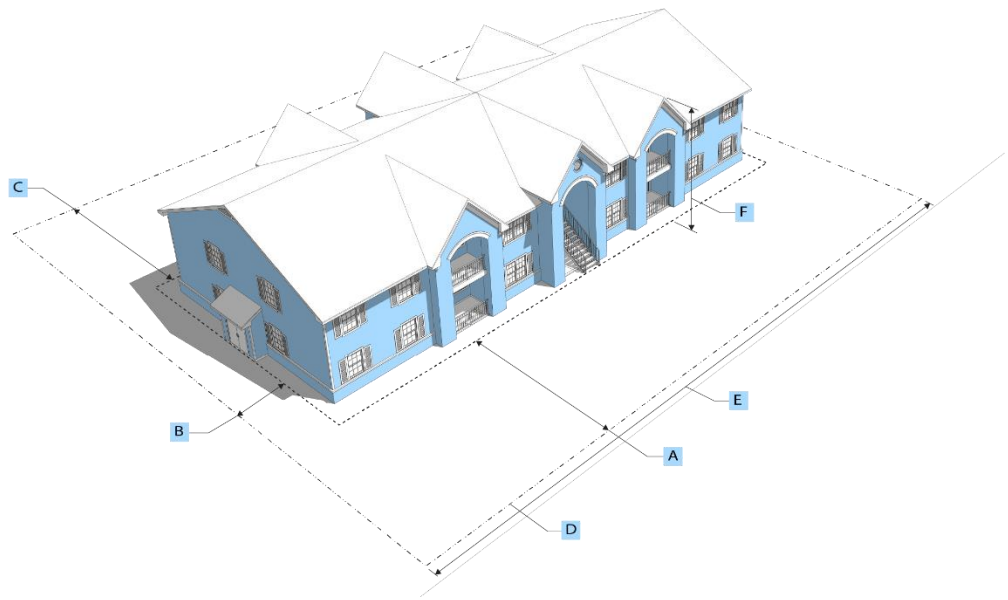
2.3.4 R4 – Medium High Density Residential

(a) Purpose

The purpose of the R4 (Medium High Density Residential) zoning district is to provide medium- to high-density housing in multiple family dwellings. This district primarily supports multi-family dwellings, but some attached single-family dwellings may also be permitted. Nursing care homes, certain service-office uses, places for religious assembly, and public and private elementary and secondary schools are allowed as conditional uses. Allowed uses are shown in Section 4.2 Allowed Use Table.



(a) R4 Dimensional Standards



Building Setbacks		
A	Front building setback (minimum)	35 feet along primary street and secondary street (corner lot)
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	40 feet
D	Lot area (minimum)	2,200 sq. ft. per unit
E	Lot width (minimum)	100 feet
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
F	Primary structure height (maximum)	40 feet
	Accessory Structure height (maximum)	16 feet
	Density	10-25 Units/acre

(b) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term " principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.
- (6) For lots abutting R1 and R2 Districts, other than at a public street line
 - (A) When a building exceeds 25 feet in height the setback from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
 - (B) A 15-foot-wide buffer strip on the side abutting the R1 or R2 District shall be provided which meets the following provisions:
 - i. The buffer strip shall be landscaped and not be used for parking, garages, driveways, off-street loading or storage.
 - ii. The buffer strip shall contain an opaque fence, which is at least four feet in height.
 - iii. The City Council may approve an alternative screening device design, provided it is in harmony with the residential neighborhood and provides a similar level of screening to an opaque fence.

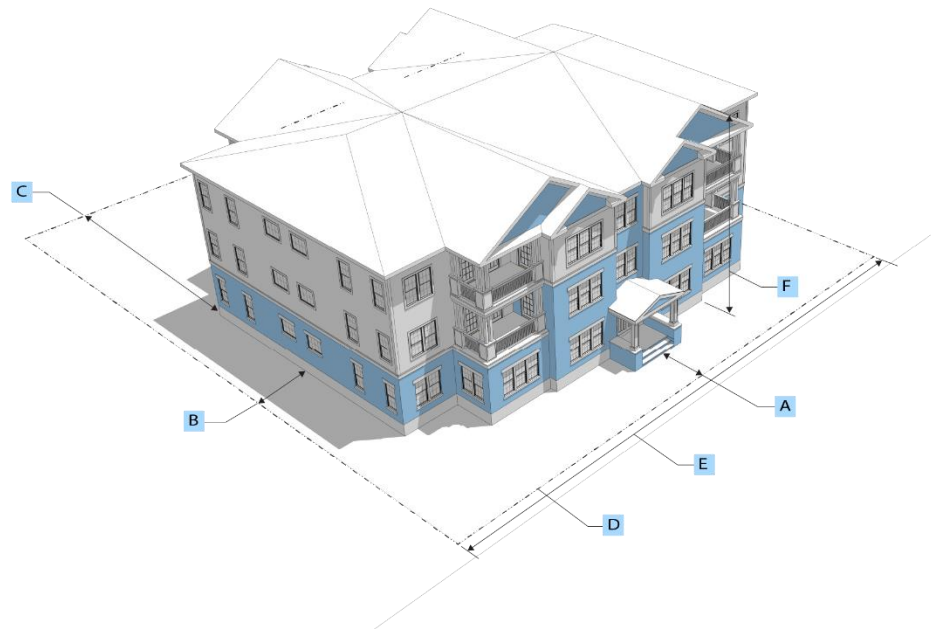
2.3.5 R5 – High Density Residential

(a) Purpose

The purpose of the R5 (High Density Residential) zoning district is to provide high-density housing in multiple family dwellings. This district is mostly developed with townhomes, apartments, and condominiums. Accessory uses including, but not limited to, neighborhood amenities, parks and open spaces are a part of this designation. Future development or redevelopment of HDR land is planned to be consistent with this land use designation and compatible with surrounding and adjacent land uses. Allowed uses are shown in Section 4.2 Allowed Use Table.



(a) R5 Dimensional Standards



Building Setbacks		
A	Front building setback (minimum)	35 feet along primary street and secondary street (corner lot)
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	40 feet
D	Lot area (minimum)	1,400 sq. ft. per unit
E	Lot width (minimum)	100 feet
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
F	Primary structure height (maximum)	48 feet
	Accessory Structure height (maximum)	16 feet
	Density	20-31 Units/acre

(b) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Dimensional Standards.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.
- (6) Lots Abutting R1 and R2 Districts, other than at a public street line

- (A) When a building exceeds 25 feet in height the setback from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
- (B) A 15-foot-wide buffer strip on the side abutting the R1 or R2 District shall be provided which meets the following provisions:
- (C) The buffer strip shall be landscaped and not be used for parking, garages, driveways, off-street loading or storage.
- (D) The buffer strip shall contain an opaque fence, which is at least four feet in height.

2.4 Mixed-Use Districts

2.4.1 MX-N1 – Neighborhood Mixed-Use

(a) Purpose

This district accommodates low- to medium-density residential and multi-family residential development, with or without small scale ground floor non-residential uses. In addition, it accommodates the reuse of residential structures with frontage on an arterial street for a wide variety of residential and non-residential uses. It is intended primarily for use along arterial corridors, at or near major intersections, and adjacent areas zoned MX-N2 or similarly zoned higher density uses. Allowed uses are shown in Section 4.2 Allowed Use Table.



MX-N1 Dimensional Standards



Building Setbacks		
A	Front build-to line (min-max)	5-20 feet on primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	20 feet
D	Minimum lot size	N/A
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
E	Structure height (maximum)	48 feet
	Density	15-31 Units/acre
	Accessory Structure height (maximum)	20 feet
	Maximum size of individual non-residential use	7,500 Square Feet

(b) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.
- (6) After the effective date of this UDO, no new or additional vehicle parking spaces may be created between the front façade of an existing or new structure and the primary street frontage of the lot unless otherwise permitted by the zoning administrator.
- (7) Lots Abutting R1 and R2 Districts, other than at a public street line
 - a. When a building exceeds 25 feet in height the setback from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.

- b. A 15-foot-wide buffer strip on the side abutting the R1 or R2 District shall be provided which meets the following provisions:
 1. The buffer strip shall be landscaped and not be used for parking, garages, driveways, off-street loading or storage.
 2. The buffer strip shall contain an opaque fence, which is at least four feet in height.
 3. The City Council may approve an alternative screening device design, provided it is in harmony with the residential neighborhood and provides a similar level of screening to an opaque similar level of screening to an opaque fence.

(c) **Building and Site Design**

- (1) At least 50 percent of the first floor of the front façade of each primary building shall be located not more than ten feet from the front lot line.
- (2) Each primary structure shall have at least one pedestrian entrance on each façade facing a public right-of-way.
- (3) Each required pedestrian entrance for a nonresidential use shall open directly to the adjacent sidewalk without requiring pedestrians to pass through a lobby area, garage, parking lot, or a non-pedestrian area located between the building entrance and the entrance to individual ground floor nonresidential establishments in the building.
- (4) At least 50 percent of each building façade facing a street, park, plaza, or other public space (not including areas occupied by doors or windows), shall be faced in brick, stone, cultured stone, real stucco, or other material of equivalent visual attractiveness, quality, and durability as determined by the Zoning Administrator.
- (5) Each ground floor façade for a nonresidential use facing a public right-of-way shall have transparent windows or other transparent glazed areas covering at least 50 percent of the ground floor façade area between three and eight feet above sidewalk grade. Required glazed areas shall have a visible light transmittance ratio of 0.6 or higher, and shall not include reflective, heavily tinted, or black glass windows.

(d) **Streets and Public Space**

- (1) Should new blocks be established, blocks shall be between 300 and 500 feet in length and shall have a block perimeter no greater than 2,000 feet.
- (2) Bicycle and pedestrian facilities shall be constructed and connected to existing adjacent bicycle and pedestrian infrastructure, including the provision of bicycle parking.
- (3) Attractive public gathering/seating areas, quality streetscaping, and space for outdoor seating shall be integrated into the site design.
- (4) A six-foot minimum clear width shall be maintained on all walkways
- (5) Public spaces shall be designed to promote social interaction, leisure opportunities, public gathering and activities, and/or to create focal points and activity nodes within development.

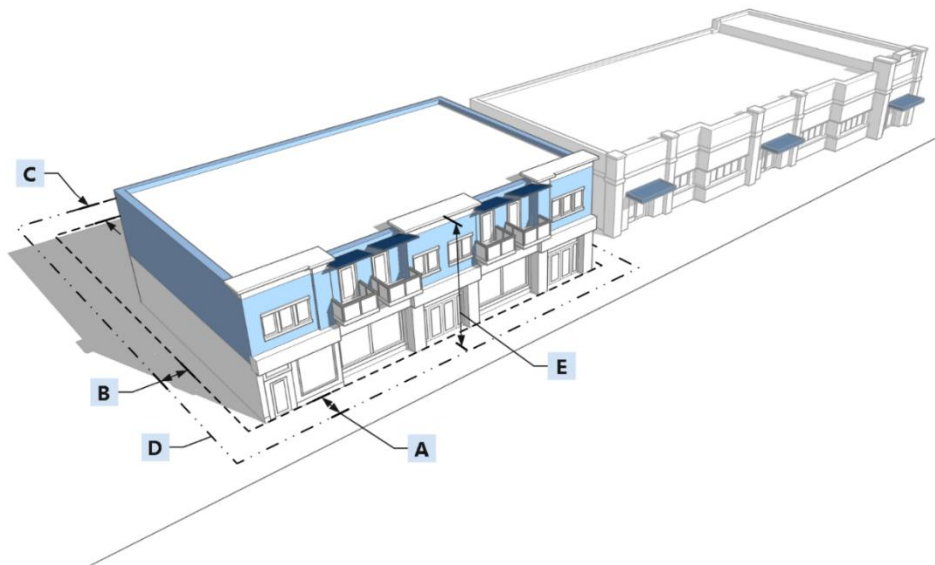
2.4.2 MX-N2 Neighborhood Mixed-Use

(a) Purpose

This district supports small-scale, mixed-use neighborhood activity centers with comfortable gathering places that are located and scaled to provide minor/convenience services near low density residential neighborhoods. Requirements for this zoning district avoid strip development patterns and the creation of destination retail or business uses serving areas beyond the immediate neighborhood. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) MX-N2 Dimensional Standards



Building Setbacks		
A	Front build-to line (min-max)	5-20 feet on primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	10 feet
D	Minimum lot size	N/A
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
E	Structure height (maximum)	48 feet
	Density	15-31 Units/acre
	Accessory Structure height (maximum)	20 feet
	Maximum size of individual non-residential use	10,000 Square Feet

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

(d) **Building and Site Design**

- (1) At least 50 percent of the first floor of the front façade of each primary building shall be located not more than ten feet from the front lot line.
- (2) Each primary structure shall have at least one pedestrian entrance on each façade facing a public right-of-way.
- (3) Each required pedestrian entrance for a nonresidential use shall open directly to the adjacent sidewalk without requiring pedestrians to pass through a lobby area, garage, parking lot, or a non-pedestrian area located between the building entrance and the entrance to individual ground floor nonresidential establishments in the building.

- (4) At least 50 percent of each building façade facing a street, park, plaza, or other public space (not including areas occupied by doors or windows), shall be faced in brick, stone, cultured stone, real stucco, or other material of equivalent visual attractiveness, quality, and durability as determined by the Zoning Administrator.
- (5) Each ground floor façade for a nonresidential use facing a public right-of-way shall have transparent windows or other transparent glazed areas covering at least 50 percent of the ground floor façade area between three and eight feet above sidewalk grade. Required glazed areas shall have a visible light transmittance ratio of 0.6 or higher, and shall not include reflective, heavily tinted, or black glass windows.
- (6) After the effective date of this UDO, no new or additional vehicle parking spaces may be created between the front façade of an existing or new structure and the primary street frontage of the lot unless otherwise permitted by the zoning administrator.
- (7) Lots Abutting R1 and R2 Districts, other than at a public street line
 - (A) When a building exceeds 25 feet in height the setback from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
 - (B) A 15-foot-wide buffer strip on the side abutting the R1 or R2 District shall be provided which meets the following provisions:
 - i. The buffer strip shall be landscaped and not be used for parking, garages, driveways, off-street loading or storage.
 - ii. The buffer strip shall contain an opaque fence, which is at least four feet in height.
 - iii. The City Council May approve an alternative screening device design, provided it is in harmony with the residential neighborhood and provides a similar level of screening to an opaque similar level of screening to an opaque fence.

(e) **Streets and Public Space**

- (1) Should new blocks be established, blocks shall be between 300 and 500 feet in length and shall have a block perimeter no greater than 2,000 feet.
- (2) Bicycle and pedestrian facilities shall be constructed and connected to existing adjacent bicycle and pedestrian infrastructure, including the provision of bicycle parking.
- (3) Attractive public gathering/seating areas, quality streetscaping, and space for outdoor seating shall be integrated into the site design.
- (4) A six-foot minimum clear width shall be maintained on all walkways
- (5) Public spaces shall be designed to promote social interaction, leisure opportunities, public gathering and activities, and/or to create focal points and activity nodes within development.

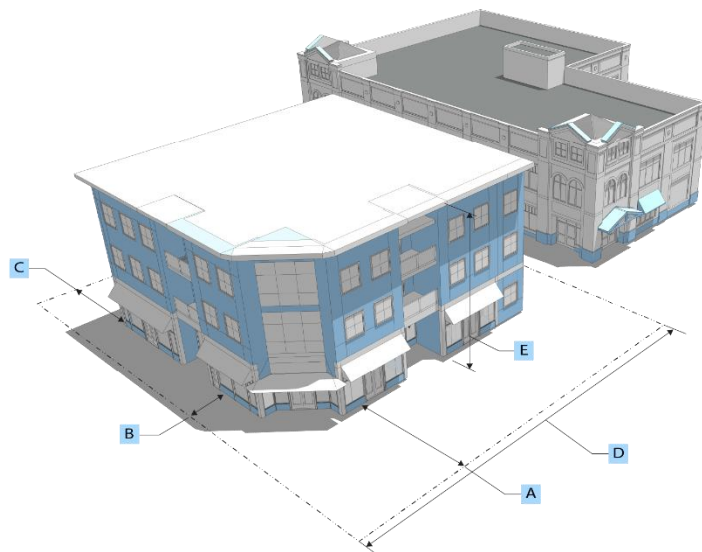
2.4.3 MX-C Commercial Mixed-Use

(a) Purpose

The MX-C designation guides land for a hybrid urban form of commercial, office, retail, service and residential uses. This designation is intended primarily for areas adjacent to TOD and is planned to have a more significant proportion of the land use designated for commercial, office, retail, and service uses with supporting residential uses. A minimum of 50% of the land use is planned for residential development at densities slightly lower than the adjacent TOD land use designation. This land use designation will focus on walkable and bikeable connections to adjacent land uses and selected destination nodes along transit corridors. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) MX-C Dimensional Standards



Building Setbacks		
A	Front building setback (minimum)	10 feet on primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	20 feet
D	Lot width (minimum)	100 feet
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
E	Structure Height	No Limit
	Density	10-60 Units/acre
	Lot Area	Minimum 2 acres contiguous parcel for residential uses
	Accessory Structure height (maximum)	20 feet

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

(d) **Building and Site Design**

(1) Interior side yard setback requirements may be waived where abutting property owners wish to abut along a common wall built along the property line.

(2) Lots Abutting R1 and R2 Districts, other than at a public street line

(A) When a building exceeds 25 feet in height the setback from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.

(B) A 15-foot-wide buffer strip on the side abutting the R1 or R2 District shall be provided which meets the following provisions:

1. The buffer strip shall be landscaped and not be used for parking, garages, driveways, off-street loading or storage.
2. The buffer strip shall contain an opaque fence, which is at least four feet in height.
3. The City Council may approve an alternative screening device design, provided it is in harmony with the residential neighborhood and provides a similar level of screening to an opaque similar level of screening to an opaque fence.

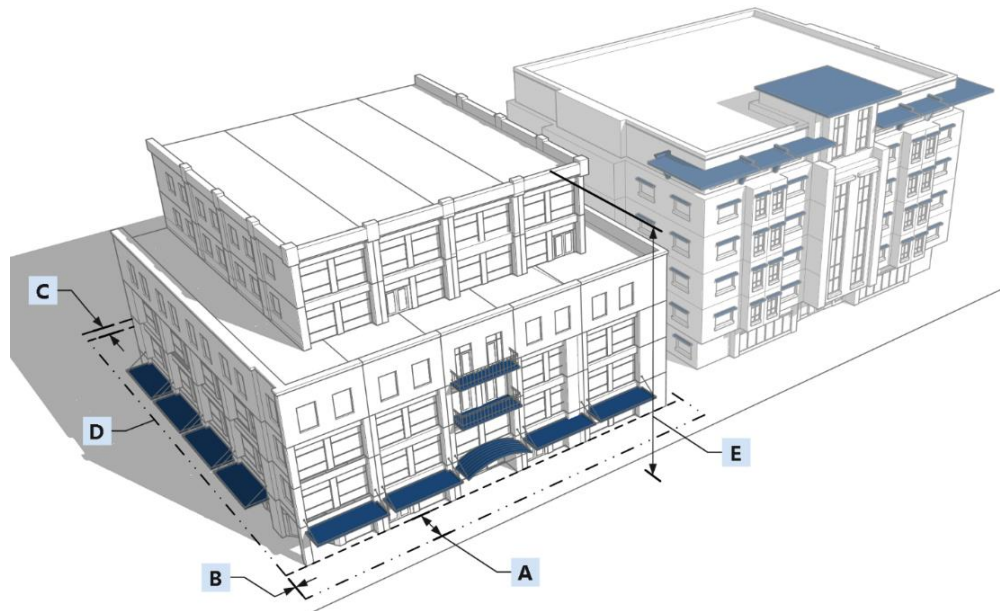
2.4.4 Transit Oriented Development

(a) **Purpose**

This district supports opportunities for transit-supportive and transit-oriented development. The TOD district requires intensities and patterns of development that support vibrant pedestrian activity, and discourages land uses and development patterns that could decrease walkability or interfere with future growth of transit-oriented development and transit ridership. The district promotes sustainable urban places that include places to live, work, shop, and recreate, reduce reliance on automobiles, and encourage the use of public transit. The district fosters job creation and economic growth in proximity to transit and provides citizens with new housing and lifestyle choices with a high level of amenities and social interaction spaces. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) **TOD Dimensional Standards**



Building Setbacks		
A	Front building setback (maximum)	0-10 feet both primary and secondary street frontage
B	Side building setback (minimum)	10 feet, or 50 feet if abutting a R1 or R2 district
C	Rear building setback (minimum)	If no alley: 10 feet; If alley: 5 feet Except as required by Fire Code 50 feet if abutting an R1 or R2 district
	Accessory Structure setback, Interior side or rear (minimum)	5 feet
Other Standards		
D	Block Perimeter (maximum)	2000 ft
E	Structure Height	No Limit
	Density	31-130 Units/acre
	Accessory Structure height (maximum)	20 feet

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.

- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
 - (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
 - (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.
- (d) **Building and Site Design**
- (1) At least 60 percent of the first floor of the front façade of each primary building shall be located not more than eight feet from each lot line.
 - (2) Each primary structure shall have at least one pedestrian entrance on each façade facing a public right-of-way.
 - (3) Each required pedestrian entrance for a nonresidential use shall open directly to the adjacent sidewalk without requiring pedestrians to pass through a lobby area, garage, parking lot, or a non-pedestrian area located between the building entrance and the entrance to individual ground floor nonresidential establishments in the building.
 - (4) At least 50 percent of each building façade facing a street, park, plaza, or other public space (not including areas occupied by doors or windows), shall be faced in brick, stone, cultured stone, real stucco, or other material of equivalent visual attractiveness, quality, and durability as determined by the Zoning Administrator.
 - (5) At least 50 percent of the ground floor of any parking structure abutting a public street shall have habitable or commercial space for a depth of at least 30 feet.
 - (6) Each ground floor façade for a nonresidential use facing a public right-of-way shall have transparent windows or other transparent glazed area covering at least 65 percent of the ground floor façade area between three and eight feet above sidewalk grade. Required glazed areas shall have a visible light transmittance ratio of 0.6 or higher, and shall not include reflective, heavily tinted, or black glass windows.
 - (7) Non-residential ground floor areas facing streets shall be designed with a minimum height of 13 feet to accommodate retail or other uses generating pedestrian traffic.
- (e) **Streets and Public Space**
- (1) Should new blocks be established, blocks shall be between 300 and 500 feet in length and shall have a block perimeter no greater than 2,000 feet.
 - (2) Bicycle and pedestrian facilities shall be constructed and connected to existing adjacent bicycle and pedestrian infrastructure, including the provision of bicycle parking.
 - (3) Each development in the TOD district shall support walkability, multimodal connectivity, and public space principles and goals outlined in the City Comprehensive Plan, cohesive with the surrounding context, and:

- (A) Integrate attractive public gathering/seating areas, quality streetscaping, and space for sidewalk cafes while maintaining a six-foot minimum clear zone for pedestrian passage,
 - (B) Allocate a portion of TDC for landscaping, streetscaping, public art and/or placemaking elements.
- (4) Public spaces shall be designed to promote social interaction, leisure opportunities, public gathering and activities, and/or to create focal points and activity nodes within development.
- (5) Along all public streets, all utility boxes and above-ground utility installations other than street and pedestrian light poles, traffic safety signals, and fire hydrants shall comply with the following standards to the maximum extent practicable and consistent with their function:
 - (6) They shall be located to the side or rear of buildings; or
 - (C) Where a side or rear location is impracticable, they shall be set back a minimum of three feet from the sidewalk, and the three foot minimum setback shall be landscaped with shrubbery that will screen the utility structure from public view.
 - (7) Interior side yard setback requirements may be waived where abutting property owners wish to abut along a common wall built along the property line.
- (f) **Motor Vehicle Parking**

At least 70 percent of provided parking shall be located in structured or covered parking
- (g) **Density and Incentive Bonuses**

See section 5.2.1 for Density Bonus program details

2.5 Non-Residential Districts

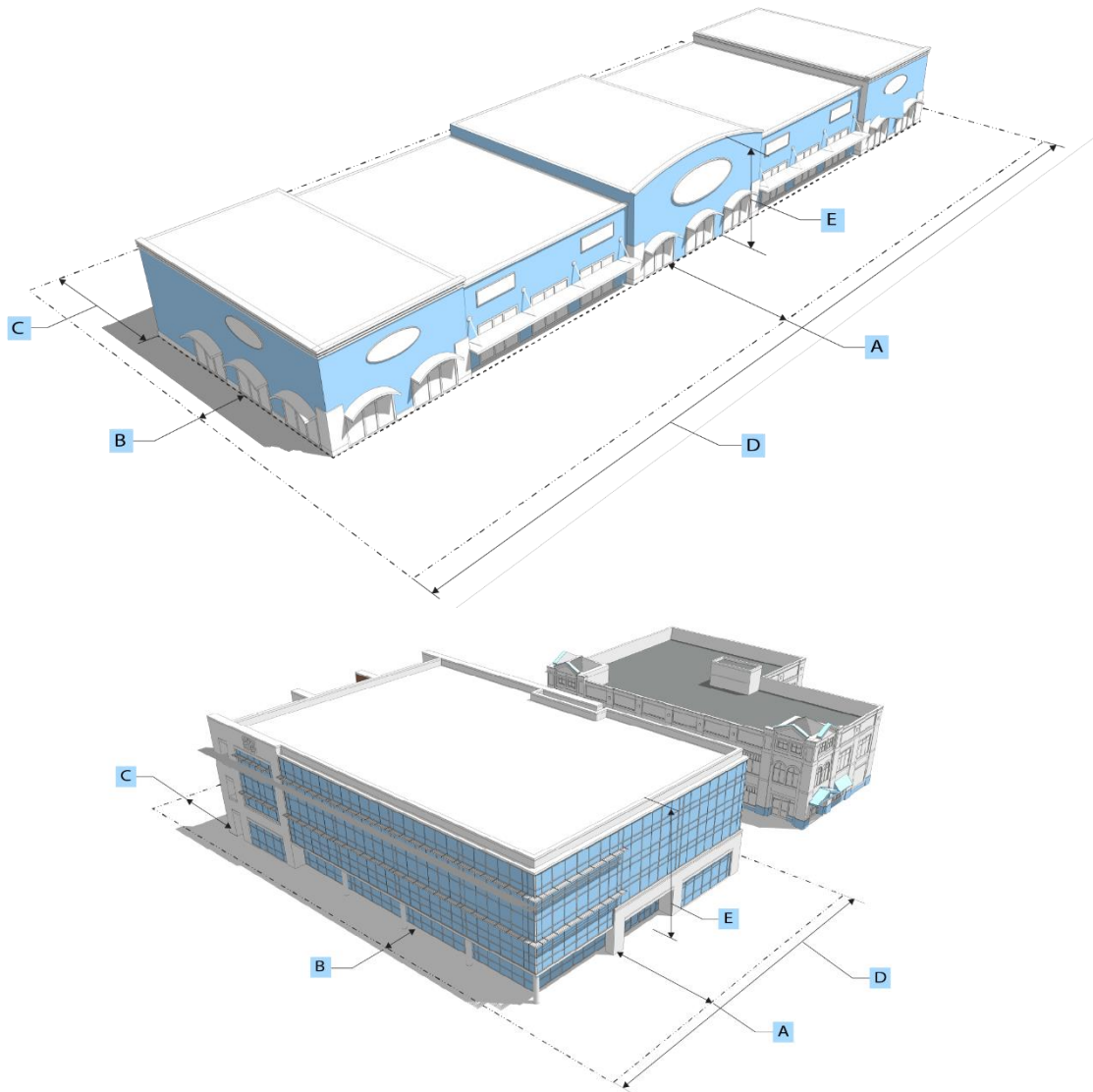
2.5.1 C – Commerce – Service/Office District

(a) Purpose

This district supports commerce activity in the form of the retail sale, eating establishments, service/office uses, repair/service uses, medical and health uses, contract/construction uses, educational uses, and other uses similar in nature, as determined by the City Council. This district supports service and office uses. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) **C Dimensional Standards**



Building Setbacks		
A	Front building setback (minimum)	35 feet primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	40 feet
D	Lot width (minimum)	100 feet
Other Standards		
E	Primary structure height (maximum)	40 feet

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.

- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

(d) **Building and Site Design**

Interior side yard setback requirements may be waived where abutting property owners wish to abut along a common wall built along the property line.

(e) **Lots Abutting R1 and R2 Districts**

- (1) When a building in a Commercial zone exceeds 25 feet in height and abuts an R1 or R2 zone, the setback of this building from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
- (2) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

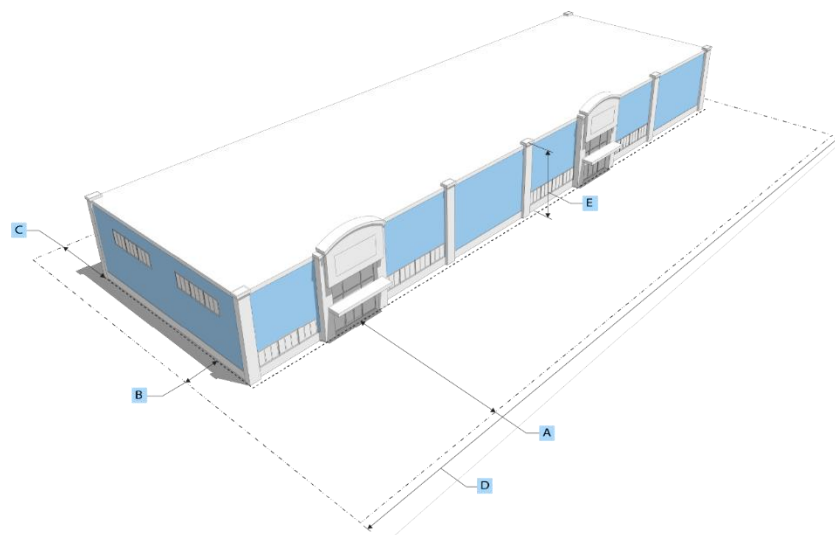
2.5.2 MX-B – Business Mixed Use

(a) Purpose

The MX-B designation guides land for a mix of business and light industrial uses with allowance for supporting retail/service uses. This designation encourages redevelopment or development of commercial, office, general business and light industrial uses in coordination with supporting retail/commercial uses to encourage a more dynamic and connected experience for workers. This land use does not plan for residential uses but may include limited live-work opportunities as established through supporting official controls. Allowed uses are shown in Section 4.2 Allowed Use Table.



(b) MX-B Dimensional Standards



A	Front building setback (minimum)	35 feet primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	25 feet
D	Lot width (minimum)	100 feet

(c) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

(d) **Building and Site Design**

Interior side yard setback requirements may be waived where abutting property owners wish to abut along a common wall built along the property line.

(e) **Lots Abutting R1 and R2 Districts**

- (1) When a building in a Commercial zone exceeds 25 feet in height and abuts an R1 or R2 zone, the setback of this building from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
- (2) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

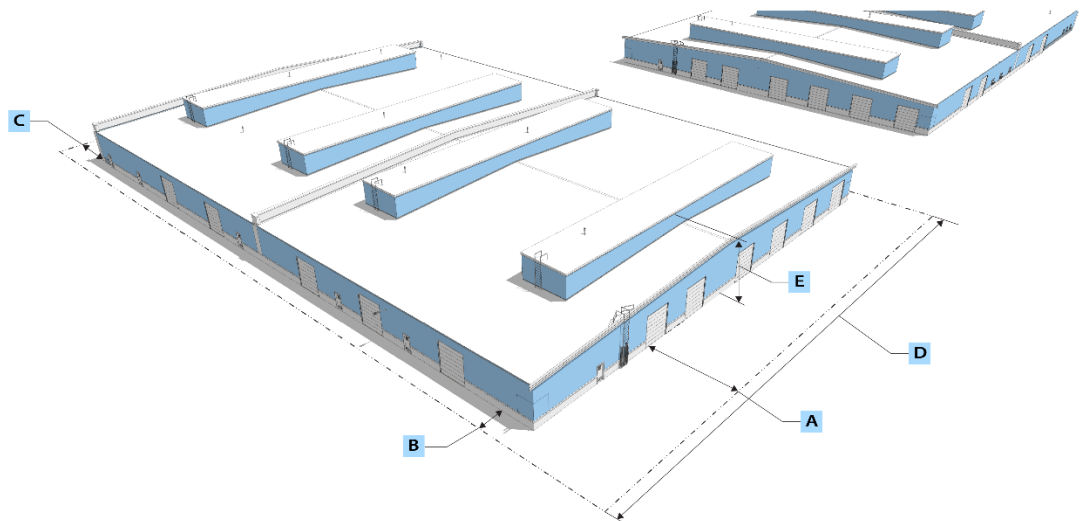
2.5.3 I – General Industry

(a) Purpose

This district supports industrial uses such as manufacturing, wholesale trade activities, service activities, truck terminals or exchange stations, public transit terminals, and other uses similar in nature, as determined by the City Council. Allowed uses are shown in Section 4.2 Allowed Use Table.



(a) I Dimensional Standard



Building Setbacks		
A	Front building setback (minimum)	50 feet primary and secondary street frontage
B	Side building setback (minimum)	10 feet
C	Rear building setback (minimum)	25 feet
D	Lot width (minimum)	100 feet
Other Standards		
E	Primary structure height (maximum)	48 feet

(b) **General Regulations**

- (1) Complete detailed dimensional standards are located in Section 5 – Development Standards and Incentives.
- (2) Every building hereafter erected or structurally altered shall be located on a lot, and in no case shall there be more than one principal building on one lot. The term "principal building" shall be given its common, ordinary meaning; in case of doubt, or on any question of interpretation, the decision shall rest with the Zoning Administrator.
- (3) The required total minimum land area may be reduced 500 square feet for each required parking stall constructed completely underground, or otherwise provided in an integrated parking structure.
- (4) Permitted Encroachments into the regular setbacks are listed in Section XXX.X.X of this UDO.
- (5) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

(c) **Building and Site Design**

Interior side yard setback requirements may be waived where abutting property owners wish to abut along a common wall built along the property line.

(d) **Lots Abutting R1 and R2 Districts**

- (1) When a building in a Commercial zone exceeds 25 feet in height and abuts an R1 or R2 zone, the setback of this building from the R1 or R2 property shall be no less than equal to the height of the building, unless the building steps down to no greater than 25 feet on the side abutting the R1 or R2 zone.
- (2) In the case of corner lots, the lot lines not abutting street right-of-way shall, for the purpose of this Unified Development Ordinance, be considered side-interior lot lines, and except as otherwise provided, the use shall adhere to the setback requirements set out for interior side yards.

2.6 Special Purpose Districts

2.6.1 O – Public Open Space

(a) Purpose

This district is intended to preserve or encourage the continuation of lands designated for public park and open space use. Permitted uses include public parks, playgrounds, athletic fields, and other recreational uses of a noncommercial nature. Allowed uses are shown in Section 4.2 Allowed Use Table.

